



DEPT OF CORRECTIONS

STATE OF NEVADA

DEPARTMENT OF ADMINISTRATION
STATE PUBLIC WORKS DIVISION
FACILITY CONDITION ASSESSMENT

PROPERTY PORTFOLIO REVIEW PROJECT ADDENDUM

SOUTH REGION
INDIAN SPRINGS CORRECTIONAL CENTER COMPLEX
9952 - HIGH DESERT STATE PRISON SITE
22010 COLD CREEK RD
INDIAN SPRINGS, NV 89018-
CLARK COUNTY

SURVEY DATE: 01/22/2025



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*The **FCA PROGRAM**, established by the State Public Works Division (SPWD), fulfills oversight responsibilities under NRS 341.128 (periodically inspect state-owned institutions) and NRS 331.110 (inventory of state property).*

*The **Property Portfolio Review** is a two-part evaluation offering an assessment of a property's condition and prioritized project recommendations with preliminary cost estimates.*

INTRODUCTION

The **Project Addendum** is part two of the **Property Portfolio Review**, building on the foundation of the Facility Insights report, which assesses the condition of the property and its facilities. It outlines post-assessment projects, categorized within the SPWD's building management system, by priority, status designation, and preliminary cost estimate. Building management components include ADA, culinary, electrical, energy, environmental, exterior, HVAC, interior, plumbing, safety, security, site, and structural systems.

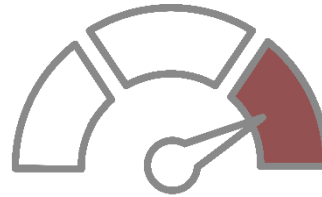
Projects are prioritized by urgency and address the most pressing needs effectively:

- **Priority 1, 0 - 2 years, Currently Critical:** Requires immediate action.
- **Priority 2, 2 - 4 years, Necessary – Not Yet Critical:** Preemptive attention to avoiding deterioration.
- **Priority 3, 4 - 10 years, Long Term Needs:** Investment planning and functional improvements.

Projects are assigned a status designation of **new, in progress, completed, deferred or canceled**. Preliminary cost estimates are based on multiple sources, including the **RS Means Cost Estimating Guide**, similar **SPWD construction projects**, and **contractor pricing**, factoring in labor, location, materials, profit, and overhead. **Soft costs** (design fees, testing, permits) are not included.



Disclaimer: Observations are limited to **accessible areas** and conditions present during the survey.
Accurate Forecasting: Updated estimates must be obtained that include soft costs and professional evaluations.



PRIORITY 1: CURRENTLY CRITICAL, REQUIRES IMMEDIATE ACTION

HIGH DESERT STATE PRISON SITE

\$4,808,000.00

PRIORITY 1
0 - 2 years



IN PROGRESS SECURITY - 3/28/2025

9952-SEC-1: SECURITY CAMERA SYSTEM INSTALLATION

The site has insufficient video surveillance of all inmate areas. This project recommends installing video monitoring and recording equipment in every common inmate area and visitor area throughout the High Desert State Prison. This project would also include camera installation in all housing units.

HIGH DESERT STATE PRISON SITE

\$3,400,000.00

PRIORITY 1
0 - 2 years



NEW SAFETY ISSUES - 3/13/2025

9952-SFT-1: FIRE ALARM REPLACEMENT SITEWIDE

This buildings on this site are equipped with an outdated automatic fire detection and alarm system. Communication between the buildings and the head end is inoperable. Parts cannot be obtained and due to obsolescence. It is recommended that the system be replaced to current requirements to ensure the safety of the occupants.

HOUSING UNIT #6

\$2,167,000.00

PRIORITY 1
0 - 2 years



Image Applicable to Housing Units 1-12

NEW ADA - 3/18/2025

2174-ADA-5: SHOWER REFURBISHMENT

The showers in the housing unit are 25 years old with aging accessibility provisions. A complete retrofit is necessary. This project would provide funding to line the existing shower stalls with stainless steel, liquid applied flooring, and replacement of shower fixtures & controls. The refurbishment shall also include retrofitting the required number of showers in compliance with ADA Accessibility Standards and PREA requirements.

HOUSING UNIT #1

\$2,167,000.00

PRIORITY 1
0 - 2 years



Image Applicable to Housing Units 1-12

NEW ADA - 1/30/2025

2086-ADA-5: SHOWER REFURBISHMENT

The showers in the housing unit are 25 years old with aging accessibility provisions. A complete retrofit is necessary. This project would provide funding to line the existing shower stalls with stainless steel, liquid applied flooring, and replacement of shower fixtures & controls. The refurbishment shall also include retrofitting the required number of showers in compliance with ADA Accessibility Standards and PREA requirements.

HOUSING UNIT #7

\$2,167,000.00

PRIORITY 1
0 - 2 years



Image Applicable to Housing Units 1-12

NEW ADA - 3/18/2025

2173-ADA-5: SHOWER REFURBISHMENT

The showers in the housing unit are 25 years old with aging accessibility provisions. A complete retrofit is necessary. This project would provide funding to line the existing shower stalls with stainless steel, liquid applied flooring, and replacement of shower fixtures & controls. The refurbishment shall also include retrofitting the required number of showers in compliance with ADA Accessibility Standards and PREA requirements.

HOUSING UNIT #8

\$2,167,000.00

PRIORITY 1
0 - 2 years



Image Applicable to Housing Units 1-12

NEW ADA - 3/18/2025

2172-ADA-5: SHOWER REFURBISHMENT

The showers in the housing unit are 25 years old with aging accessibility provisions. A complete retrofit is necessary. This project would provide funding to line the existing shower stalls with stainless steel, liquid applied flooring, and replacement of shower fixtures & controls. The refurbishment shall also include retrofitting the required number of showers in compliance with ADA Accessibility Standards and PREA requirements.

HOUSING UNIT #2

\$2,167,000.00

PRIORITY 1
0 - 2 years



Image Applicable to Housing Units 1-12

NEW ADA - 3/14/2025

2087-ADA-5: SHOWER REFURBISHMENT

The showers in the housing unit are 25 years old with aging accessibility provisions. A complete retrofit is necessary. This project would provide funding to line the existing shower stalls with stainless steel, liquid applied flooring, and replacement of shower fixtures & controls. The refurbishment shall also include retrofitting the required number of showers in compliance with ADA Accessibility Standards and PREA requirements.

HOUSING UNIT #4

\$2,167,000.00

PRIORITY 1
0 - 2 years



Image Applicable to Housing Units 1-12

NEW ADA - 3/18/2025

2088-ADA-5: SHOWER REFURBISHMENT

The showers in the housing unit are 25 years old with aging accessibility provisions. A complete retrofit is necessary. This project would provide funding to line the existing shower stalls with stainless steel, liquid applied flooring, and replacement of shower fixtures & controls. The refurbishment shall also include retrofitting the required number of showers in compliance with ADA Accessibility Standards and PREA requirements.

HOUSING UNIT #5

\$2,167,000.00

PRIORITY 1
0 - 2 years



Image Applicable to Housing Units 1-12

NEW ADA - 3/20/2025

2175-ADA-6: SHOWER REFURBISHMENT

The showers in the housing unit are 25 years old with aging accessibility provisions. A complete retrofit is necessary. This project would provide funding to line the existing shower stalls with stainless steel, liquid applied flooring, and replacement of shower fixtures & controls. The refurbishment shall also include retrofitting the required number of showers in compliance with ADA Accessibility Standards and PREA requirements.

HOUSING UNIT #3

\$2,167,000.00

PRIORITY 1
0 - 2 years



NEW ADA - 3/18/2025

2089-ADA-5: SHOWER REFURBISHMENT

The showers in the housing unit are 25 years old with aging accessibility provisions. A complete retrofit is necessary. This project would provide funding to line the existing shower stalls with stainless steel, liquid applied flooring, and replacement of shower fixtures & controls. The refurbishment shall also include retrofitting the required number of showers in compliance with ADA Accessibility Standards and PREA requirements.

HIGH DESERT STATE PRISON SITE

\$250,000.00

PRIORITY 1
0 - 2 years



NEW ELECTRICAL - 3/28/2025

9952-ELE-3: ARC FLASH and ELECTRICAL COORDINATION STUDY

Arc flash and electrical breaker coordination studies have not been performed or it has been more than 5 years since the last coordination study. Safety requirements for maintenance personnel and the latest electrical code require coordination studies to be verified and performed every 5 years, along with arc flash labeling on all electrical panels. This project recommends performing the required coordination study, evaluation, adjustments and labeling sitewide for the electrical distribution system.

ARMORY/ EMERGENCY RESPONSE

\$215,600.00

PRIORITY 1
0 - 2 years



DEFERRED HVAC - 3/28/2025

2098-HVA-1: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related HVAC equipment are original to the building, dating back to 2000. At the time of the survey the HVAC equipment was not working and the staff had indicated that it was very problematic and they had abandon the system and installed a mini split for the office location within the building. The equipment has reached its expected life span. This project recommends replacement of all the air handlers, fan coils, ventilation and related HVAC equipment and exhaust fans. It is recommended that this project be implemented in the next year.

HOUSING UNIT #3

\$15,000.00

PRIORITY 1
0 - 2 years



DEFERRED HVAC - 3/18/2025

2089-HVA-3: EVAPORATIVE COOLER REPLACEMENT

There is an open guard stationed on the catwalk between Housing Units 3 & 4. They have one overhead swamp cooler to keep them cool in the warmer months. At the time of the survey the swamp cooler was not working. It is severely scaled and has reached the end of its useful and expected life. This project would provide for a new evaporative cooler to be installed including all required connections to utilities. The estimate includes removal and disposal of the old cooler.

HOUSING UNIT #7

\$15,000.00

PRIORITY 1
0 - 2 years



DEFERRED HVAC - 3/18/2025

2173-HVA-3: EVAPORATIVE COOLER REPLACEMENT

There is an open guard stationed on the catwalk between Housing Units 7 & 8. They have one overhead swamp cooler to keep them cool in the warmer months. At the time of the survey the swamp cooler was not working. It is severely scaled and has reached the end of its useful and expected life. This project would provide for a new evaporative cooler to be installed including all required connections to utilities. The estimate includes removal and disposal of the old cooler.

HOUSING UNIT #1



\$15,000.00

PRIORITY 1
0 - 2 years



DEFERRED HVAC - 3/13/2025

2086-HVA-1: EVAPORATIVE COOLER REPLACEMENT

There is an open guard stationed on the catwalk between Housing Units 1 & 2. They have one overhead swamp cooler to keep them cool in the warmer months. At the time of the survey the swamp cooler was not working. It is severely scaled and has reached the end of its useful and expected life. This project would provide for a new evaporative cooler to be installed including all required connections to utilities. The estimate includes removal and disposal of the old cooler.

WAREHOUSE/ MOTOR POOL

\$10,000.00

PRIORITY 1
0 - 2 years



DEFERRED SAFETY ISSUES - 4/23/2024

2178-SFT-2: LOADING DOCK

The Warehouse/ Motor Pool has a loading dock. The loading dock is used by large trucks and tractor trailers to back in for loading and unloading supplies needed for the High Desert State Prison. There are no wheel blocks installed to prevent the movement of trucks or trailers loading or unloading, per OSHA 1910.178(m)(7) requirements. The forklifts are battery operated. Per OSHA 1910.178(g)(2), the charging area for the forklifts do not provide an area for; flushing and neutralizing spilled electrolytes; for fire protection; for protecting charging apparatus; from damage by trucks, and for adequate ventilation for

dispersal of fumes for gassing batteries. This project addresses the installation of blocks for the loading ramp, installation of two bollards to protect the battery charging/flushing area in case of spills and provide adequate ventilation for dispersal of fumes for gassing batteries.

HOUSING UNIT #6

\$ 7,500.00

PRIORITY 1
0 - 2 years



Image Applicable to Housing Units 1-8

DEFERRED STRUCTURAL - 3/18/2025

2174-STR-1: WALKWAY RAILING

The perimeter roof walkway guardrail is failing. The railing is loose or not attached and is posing a potential safety problem. This project recommends an assessment be performed by a Structural Engineer to determine the cause and provide a design solution. Future projects will be based on the design solution recommendation.

HOUSING UNIT #4

\$ 7,500.00

PRIORITY 1
0 - 2 years



Image Applicable to Housing Units 1-8

DEFERRED STRUCTURAL - 3/18/2025

2088-STR-1: WALKWAY RAILING

The perimeter roof walkway guardrail is failing. The railing is loose or not attached and is posing a potential safety problem. This project recommends an assessment be performed by a Structural Engineer to determine the cause and provide a design solution. Future projects will be based on the design solution recommendation.

HOUSING UNIT #5

\$ 7,500.00

PRIORITY 1
0 - 2 years



DEFERRED HVAC - 3/18/2025

2175-HVA-3: EVAPORATIVE COOLER REPLACEMENT

There is an open guard stationed on the catwalk between Housing Units 5 & 6. They have one overhead swamp cooler to keep them cool in the warmer months. At the time of the survey the swamp cooler was not working. It is severely scaled and has reached the end of its useful and expected life. This project would provide for a new evaporative cooler to be installed including all required connections to utilities. The estimate includes removal and disposal of the old cooler.

HOUSING UNIT #5

\$ 7,500.00

PRIORITY 1
0 - 2 years



Image Applicable to Housing Units 1-8

DEFERRED STRUCTURAL - 3/18/2025

2175-STR-1: WALKWAY RAILING

The perimeter roof walkway guardrail is failing. The railing is loose or not attached and is posing a potential safety problem. This project recommends an assessment be performed by a Structural Engineer to determine the cause and provide a design solution. Future projects will be based on the design solution recommendation.

HOUSING UNIT #8

\$ 7,500.00

PRIORITY 1
0 - 2 years



Image Applicable to Housing Units 1-8

DEFERRED STRUCTURAL - 3/18/2025

2172-STR-1: WALKWAY RAILING

The perimeter roof walkway guardrail is failing. The railing is loose or not attached and is posing a potential safety problem. This project recommends an assessment be performed by a Structural Engineer to determine the cause and provide a design solution. Future projects will be based on the design solution recommendation.

HOUSING UNIT #1

\$ 7,500.00

PRIORITY 1
0 - 2 years



Image Applicable to Housing Units 1-8

DEFERRED STRUCTURAL - 3/13/2025

2086-STR-1: WALKWAY RAILING

The perimeter roof walkway guardrail is failing. The railing is loose or not attached and is posing a potential safety problem. This project recommends an assessment be performed by a Structural Engineer to determine the cause and provide a design solution. Future projects will be based on the design solution recommendation.

HOUSING UNIT #7

\$ 7,500.00

PRIORITY 1
0 - 2 years



Image Applicable to Housing Units 1-8

DEFERRED STRUCTURAL - 3/18/2025

2173-STR-1: WALKWAY RAILING

The perimeter roof walkway guardrail is failing. The railing is loose or not attached and is posing a potential safety problem. This project recommends an assessment be performed by a Structural Engineer to determine the cause and provide a design solution. Future projects will be based on the design solution recommendation.

HOUSING UNIT #2

\$ 7,500.00

PRIORITY 1
0 - 2 years



Image Applicable to Housing Units 1-8

DEFERRED STRUCTURAL - 3/14/2025

2087-STR-1: WALKWAY RAILING

The perimeter roof walkway guardrail is failing. The railing is loose or not attached and is posing a potential safety problem. This project recommends an assessment be performed by a Structural Engineer to determine the cause and provide a design solution. Future projects will be based on the design solution recommendation.

ADMINISTRATION

\$ 5,000.00

PRIORITY 1
0 - 2 years



IN PROGRESS ENVIRONMENTAL - 4/8/2025 2094-ENV-1: MOLD SURVEY

The interior walls of the mechanical room appear to have mold growing on them. This project recommends testing the affected areas to confirm the presence of mold. This project does not include any cost of remediation and repairs that may be necessary from the remediation process.

HOUSING UNIT #3

\$ 3,000.00

PRIORITY 1
0 - 2 years

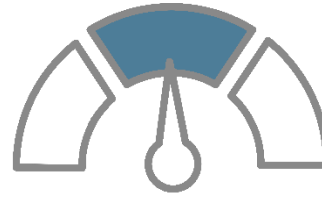


Image Applicable to Housing Units 1-8

DEFERRED STRUCTURAL - 3/18/2025

2089-STR-1: WALKWAY RAILING

The perimeter roof walkway guardrail is failing. The railing is loose or not attached and is posing a potential safety problem. This project recommends an assessment be performed by a Structural Engineer to determine the cause and provide a design solution. Future projects will be based on the design solution recommendation.

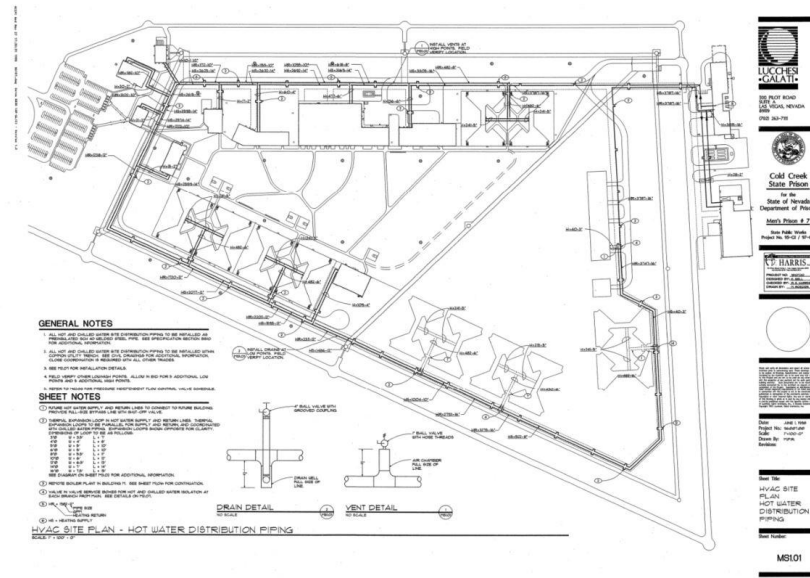


PRIORITY 2: NECESSARY, PREEMPTIVE ATTENTION TO AVOID DETERIORATION

HIGH DESERT STATE PRISON SITE

\$21,606,300.00

PRIORITY 2
2 - 4 years



NEW SITE ISSUES - 3/28/2025

9952-SIT-6: UNDERGROUND UTILITY PIPING REPLACEMENT

The underground heating loop has had many leaks, many of which have been repaired. Current leak rate is estimated at 5,000 gallons per day. This project recommends a complete replacement of the underground portion of the chilled and hot water loops that serve 23 buildings on the site.

HIGH DESERT STATE PRISON SITE

\$9,295,100.00

PRIORITY 2
2 - 4 years



NEW HVAC - 3/28/2025

9952-HVA-1: TEMPERATURE CONTROL SYSTEM INSTALLATION

The existing temperature control system (TCS) is failing and communication between buildings is inoperable. Much of the hardware is obsolete and parts are difficult to source. This project will replace the TCS system for the entire site.

HOUSING UNIT #10

\$5,685,000.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-12

NEW HVAC - 3/26/2025

2947-HVA-2: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends the replacement of all air handlers, rooftop units, and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

HOUSING UNIT #9

\$5,685,000.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-12

NEW HVAC - 3/26/2025

2945-HVA-2: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends the replacement of all air handlers, rooftop units, and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

HOUSING UNIT #11

\$5,685,000.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-12

NEW HVAC - 3/26/2025

2948-HVA-1: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends the replacement of all air handlers, rooftop units, and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

HOUSING UNIT #12

\$5,685,000.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-12

NEW HVAC - 3/26/2025

2946-HVA-2: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends the replacement of all air handlers, rooftop units, and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

INMATE SERVICES/ CULINARY/ DINING

\$4,876,700.00

PRIORITY 2
2 - 4 years



DEFERRED HVAC - 3/27/2025

2091-HVA-2: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends replacement of the air handlers, fan coils, ventilation equipment and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

HOUSING UNIT #10

\$4,429,300.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 9-12

DEFERRED SECURITY - 3/28/2025

2947-SEC-2: CELL DOORS, LOCKS AND CONTROLS REPLACEMENT

Housing Unit 10 was constructed in 2009. The cell doors, locks and controls are original to the building and have been problematic due to inmate abuse and age. This project would provide for installing new cell doors, locks and controls. A total of 168 doors were used for this estimate. Removal and disposal of the existing equipment is included in this estimate.

HOUSING UNIT #11

\$4,429,300.00

PRIORITY 2
2 - 4 years

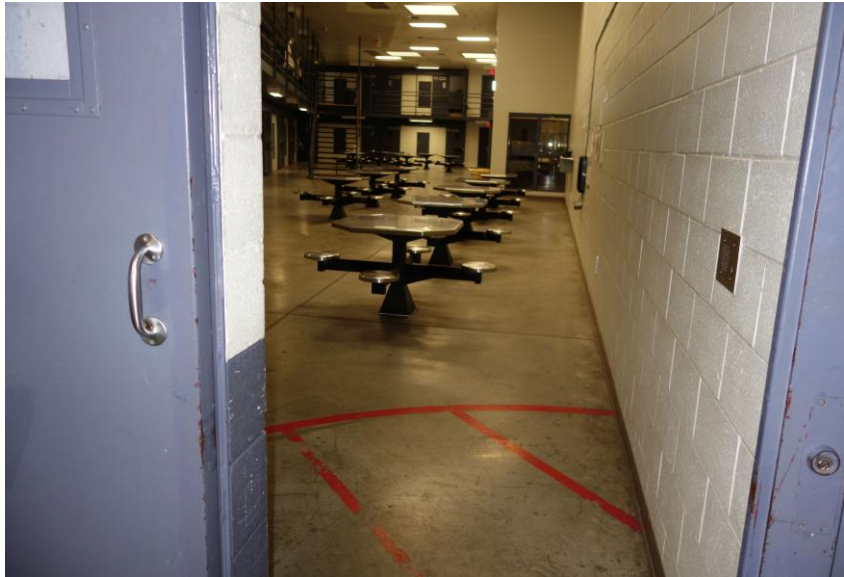


Image Applicable to Housing Units 9-12

DEFERRED SECURITY - 3/28/2025

2948-SEC-2: CELL DOORS, LOCKS AND CONTROLS REPLACEMENT

Housing Unit 11 was constructed in 2009. The cell doors, locks and controls are original to the building and have been problematic due to inmate abuse and age. This project would provide for installing new cell doors, locks and controls. A total of 168 doors were used for this estimate. Removal and disposal of the existing equipment is included in this estimate.

HOUSING UNIT #9

\$4,429,300.00

PRIORITY 2
2 - 4 years

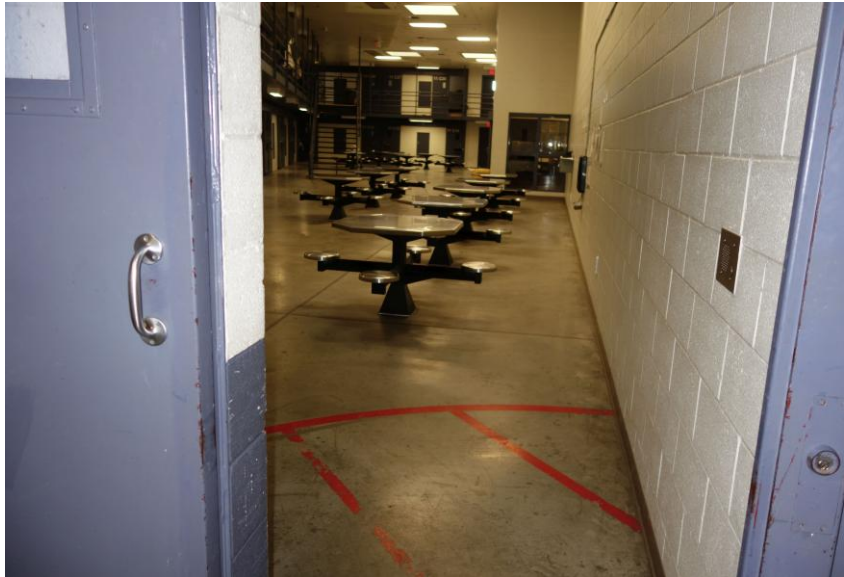


Image Applicable to Housing Units 9-12

DEFERRED SECURITY - 3/28/2025

2945-SEC-2: CELL DOORS, LOCKS AND CONTROLS REPLACEMENT

Housing Unit 9 was constructed in 2008. The cell doors, locks and controls are original to the building and have been problematic due to inmate abuse and age. This project would provide for installing new cell doors, locks and controls. A total of 168 doors were used for this estimate. Removal and disposal of the existing equipment is included in this estimate.

HOUSING UNIT #12

\$4,429,300.00

PRIORITY 2
2 - 4 years

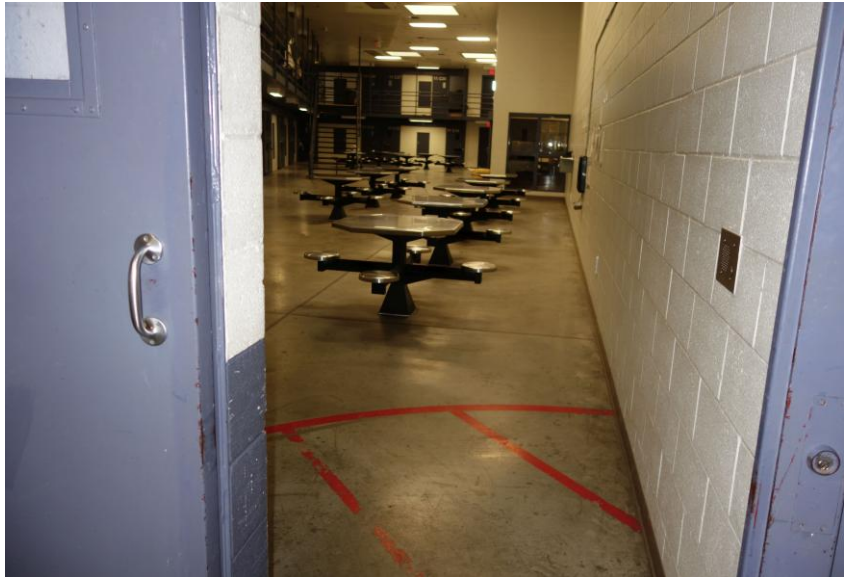


Image Applicable to Housing Units 9-12

DEFERRED SECURITY - 3/28/2025

2946-SEC-2: CELL DOORS, LOCKS AND CONTROLS REPLACEMENT

Housing Unit 12 was constructed in 2008. The cell doors, locks and controls are original to the building and have been problematic due to inmate abuse and age. This project would provide for installing new cell doors, locks and controls. A total of 168 doors were used for this estimate. Removal and disposal of the existing equipment is included in this estimate.

INMATE SERVICES/ CULINARY/ DINING

\$4,103,300.00

PRIORITY 2
2 - 4 years



NEW PLUMBING - 3/27/2025

2091-PLM-5: STEAM PLANT REPLACEMENT

The mechanical utilities serving the culinary and laundry operations, including the service piping is 24 years old has reached the end of its useful life. Visible steam leaks in the overhead piping were visible in the laundry area. This project recommends the replacement of the steam boilers, cooling towers, refrigeration equipment, pumps and service piping to the points of use. This project includes the removal and disposal of the existing equipment and commissioning of the new equipment.

HOUSING UNIT #3

\$3,790,000.00

PRIORITY 2
2 - 4 years



DEFERRED HVAC - 3/18/2025

2089-HVA-2: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends the replacement of all air handlers, fan coils, ventilation equipment and exhaust fans. It is recommended that this project be implemented in the next 2-3 years to avoid possible failure and emergency funding for replacement.

HOUSING UNIT #2

\$3,790,000.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-12

DEFERRED HVAC - 3/14/2025

2087-HVA-2: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends the replacement of all air handlers, rooftop units, and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

This project should be implemented concurrently with the ROOF REPLACEMENT project.

HOUSING UNIT #4

\$3,790,000.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-12

DEFERRED HVAC - 3/18/2025

2088-HVA-2: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends the replacement of all air handlers, rooftop units, and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

This project should be implemented concurrently with the ROOF REPLACEMENT project.

HOUSING UNIT #1

\$3,790,000.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-12

DEFERRED HVAC - 3/13/2025

2086-HVA-2: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends the replacement of all air handlers, rooftop units, and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

This project should be implemented concurrently with the ROOF REPLACEMENT project.

INMATE SERVICES/ CULINARY/ DINING

\$2,171,500.00

PRIORITY 2
2 - 4 years



NEW ENERGY SAVINGS - 3/27/2025

2091-ENR-1: LAUNDRY EQUIPMENT REPLACEMENT

Two of the four washing machines and four of the seven dryers are inoperable. Currently, steam has to be blown down at each dryer in order to provide heat for drying operations. This project recommends the complete replacement of the laundry equipment. Removal and disposal of the existing equipment is included in this project.

PROGRAM SERVICES/ EDUCATION

\$2,131,200.00

PRIORITY 2
2 - 4 years



No Image Available

DEFERRED HVAC - 3/28/2025

2092-HVA-1: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends replacement of the air handlers, fan coils, ventilation equipment and exhaust fans. It is recommended that this project be implemented in the next 2-3 years to avoid possible failure and emergency funding for replacement.

INFIRMARY/ INTAKE

\$2,089,000.00

PRIORITY 2
2 - 4 years



NEW HVAC - 3/27/2025

2090-HVA-2: HVAC EQUIPMENT REPLACEMENT

The air handler fan coils and related equipment are original to the building (2000). The equipment has consistent problems and has reached its expected life span. This project recommends replacement of all air handlers, fan coils, ventilation equipment and exhaust fans. It is recommended that this project be implemented in the next 2 - 4 years to avoid possible failure and emergency funding for replacement.

HIGH DESERT STATE PRISON SITE

\$1,827,800.00

PRIORITY 2
2 - 4 years



NEW SITE ISSUES - 3/21/2025

9952-SIT-5: PATCH, CRACK & SLURRY SEAL ASPHALT PAVING

The sitewide asphalt paving, including roadways inside the secure area are aging. This project would provide for replacement of deteriorated paving, crack filling and microsurface sealing. Microsurface sealing process is recommended to account for pavement deformations, subsidence or other minor anomalies. Striping is included in this estimate.

INMATE SERVICES/ CULINARY/ DINING

\$1,694,100.00

PRIORITY 2
2 - 4 years



IN PROGRESS BUILDING EXTERIOR - 1/7/2025 2091-EXT-3: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

INFIRMARY/ INTAKE

\$960,000.00

PRIORITY 2
2 - 4 years



NEW BUILDING INTERIOR - 3/27/2025

2090-INT-6: SHOWER REFURBISHMENT

The showers in the building are 25 years old with aging accessibility provisions. A complete retrofit is necessary. This project would provide funding to line the existing shower stalls with stainless steel, liquid applied flooring, and replacement of shower fixtures & controls. The refurbishment shall also include retrofitting the required number of showers in compliance with ADA Accessibility Standards and PREA requirements.

SECURITY/ ADMINISTRATION

\$850,800.00

PRIORITY 2
2 - 4 years



No Image Available

DEFERRED HVAC - 3/28/2025

2099-HVA-1: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends replacement of the air handlers, fan coils, ventilation equipment and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

WAREHOUSE/ MOTOR POOL

\$814,900.00

PRIORITY 2
2 - 4 years



DEFERRED BUILDING EXTERIOR - 1/7/2025

2178-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2002. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

INFIRMARY/ INTAKE

\$725,700.00

PRIORITY 2
2 - 4 years



DEFERRED BUILDING EXTERIOR - 1/7/2025

2090-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time-frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

VISITATION

\$709,000.00

PRIORITY 2
2 - 4 years



No Image Available

DEFERRED HVAC - 4/23/2024

2093-HVA-1: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends replacement of the air handlers, fan coils, ventilation equipment and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

ADMINISTRATION

\$709,000.00

PRIORITY 2
2 - 4 years



NEW HVAC - 3/28/2025

2094-HVA-2: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends replacement of the air handlers, fan coils, ventilation equipment and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

MAINTENANCE/ CENTRAL PLANT

\$663,322.00

PRIORITY 2
2 - 4 years



No Image Available

IN PROGRESS BUILDING EXTERIOR - 12/31/2024 2097-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2-3 years to be consistent with the roofing program and the end of the warranty period.

HOUSING UNIT #1



Image Applicable to Housing Units 1-8

\$642,900.00

PRIORITY 2
2 - 4 years

DEFERRED BUILDING EXTERIOR - 1/7/2025

2086-EXT-3: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

This project should be implemented concurrently with the HVAC EQUIPMENT REPLACEMENT project.

HOUSING UNIT #4



Image Applicable to Housing Units 1-8

\$642,900.00

PRIORITY 2
2 - 4 years

DEFERRED BUILDING EXTERIOR - 1/7/2025

2088-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

This project should be implemented concurrently with the HVAC EQUIPMENT REPLACEMENT project.

HOUSING UNIT #3

\$642,900.00

PRIORITY 2
2 - 4 years



DEFERRED BUILDING EXTERIOR - 1/7/2025 2089-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

Survey Date: 01/22/2025 Print Date: January 2026
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HOUSING UNIT #2



Image Applicable to Housing Units 1-8

\$642,900.00

PRIORITY 2
2 - 4 years

DEFERRED BUILDING EXTERIOR - 1/7/2025

2087-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

This project should be implemented concurrently with the HVAC EQUIPMENT REPLACEMENT project.

HOUSING UNIT #7



Image Applicable to Housing Units 1-8

\$642,900.00

PRIORITY 2
2 - 4 years

DEFERRED BUILDING EXTERIOR - 1/7/2025

2173-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

This project should be implemented concurrently with the HVAC EQUIPMENT REPLACEMENT project.

HOUSING UNIT #6

\$642,900.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-8

DEFERRED BUILDING EXTERIOR - 1/7/2025

2174-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2002. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

HOUSING UNIT #5



Image Applicable to Housing Units 1-8

\$642,900.00

PRIORITY 2
2 - 4 years

DEFERRED BUILDING EXTERIOR - 1/7/2025

2175-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

This project should be implemented concurrently with the HVAC EQUIPMENT REPLACEMENT project.

HOUSING UNIT #8



Image Applicable to Housing Units 1-8

\$642,900.00

PRIORITY 2
2 - 4 years

DEFERRED BUILDING EXTERIOR - 1/7/2025

2172-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

This project should be implemented concurrently with the HVAC EQUIPMENT REPLACEMENT project.

HOUSING UNIT #2

\$613,700.00

PRIORITY 2
2 - 4 years

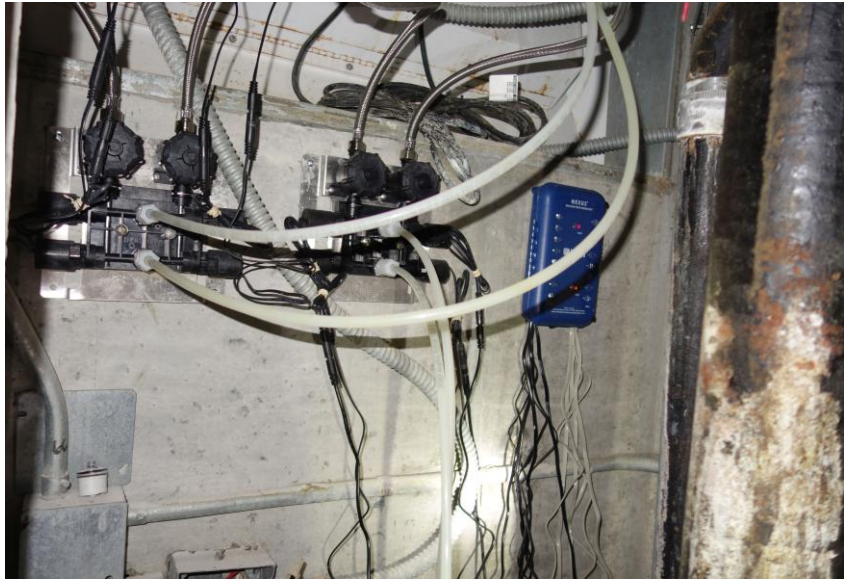


Image Applicable to Housing Units 1-12

IN PROGRESS PLUMBING - 3/13/2025

2087-PLM-2: CELL WATER CONTROL SYSTEMS REPLACEMENT

This building is equipped with cell water control systems that are outdated and should be scheduled for replacement. Problems exist with the current water control systems. It is increasingly difficult to find replacement parts and experienced repairmen to service the equipment. It is recommended to replace the water control systems. This project includes the replacement of the water controllers, piping, valves, access panels and all connections to the existing utilities.

HOUSING UNIT #4

\$613,700.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-12

IN PROGRESS PLUMBING - 3/14/2025

2088-PLM-2: CELL WATER CONTROL SYSTEMS REPLACEMENT

This building is equipped with cell water control systems that are outdated and should be scheduled for replacement. Problems exist with the current water control systems. It is increasingly difficult to find replacement parts and experienced repairmen to service the equipment. It is recommended to replace the water control systems. This project includes the replacement of the water controllers, piping, valves, access panels and all connections to the existing utilities.

HOUSING UNIT #6

\$613,700.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-12

IN PROGRESS PLUMBING - 3/18/2025

2174-PLM-2: CELL WATER CONTROL SYSTEMS REPLACEMENT

This building is equipped with cell water control systems that are outdated and should be scheduled for replacement. Problems exist with the current water control systems. It is increasingly difficult to find replacement parts and experienced repairmen to service the equipment. It is recommended to replace the water control systems. This project includes the replacement of the water controllers, piping, valves, access panels and all connections to the existing utilities.

HOUSING UNIT #7

\$613,700.00

PRIORITY 2
2 - 4 years

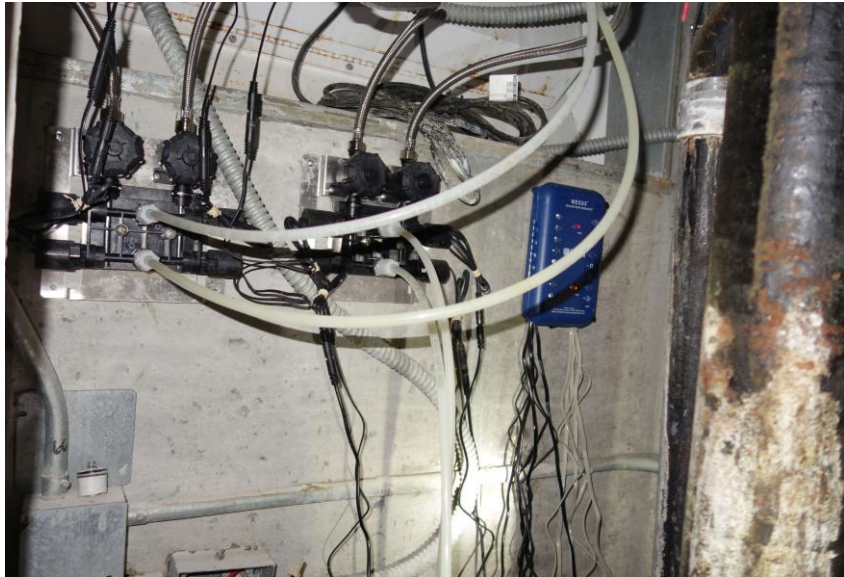


Image Applicable to Housing Units 1-12

IN PROGRESS PLUMBING - 4/23/2024

2173-PLM-2: CELL WATER CONTROL SYSTEMS REPLACEMENT

This building is equipped with cell water control systems that are outdated and should be scheduled for replacement. Problems exist with the current water control systems. It is increasingly difficult to find replacement parts and experienced repairmen to service the equipment. It is recommended to replace the water control systems. This project includes the replacement of the water controllers, piping, valves, access panels and all connections to the existing utilities.

HOUSING UNIT #5

\$613,700.00

PRIORITY 2
2 - 4 years

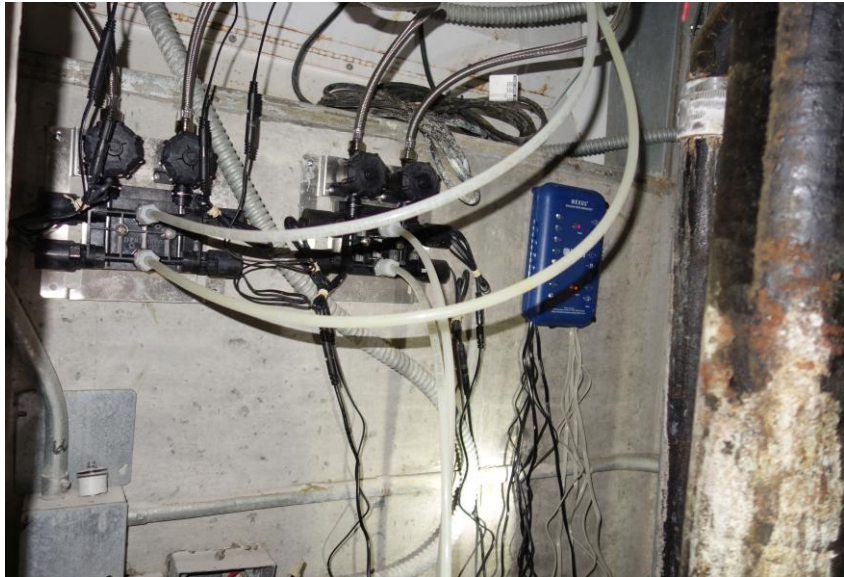


Image Applicable to Housing Units 1-12

IN PROGRESS PLUMBING - 3/18/2025

2175-PLM-2: CELL WATER CONTROL SYSTEMS REPLACEMENT

This building is equipped with cell water control systems that are outdated and should be scheduled for replacement. Problems exist with the current water control systems. It is increasingly difficult to find replacement parts and experienced repairmen to service the equipment. It is recommended to replace the water control systems. This project includes the replacement of the water controllers, piping, valves, access panels and all connections to the existing utilities.

HOUSING UNIT #3

\$613,700.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-12

IN PROGRESS PLUMBING - 3/18/2025

2089-PLM-2: CELL WATER CONTROL SYSTEMS REPLACEMENT

This building is equipped with cell water control systems that are outdated and should be scheduled for replacement. Problems exist with the current water control systems. It is increasingly difficult to find replacement parts and experienced repairmen to service the equipment. It is recommended to replace the water control systems. This project includes the replacement of the water controllers, piping, valves, access panels and all connections to the existing utilities.

HOUSING UNIT #8

\$613,700.00

PRIORITY 2
2 - 4 years

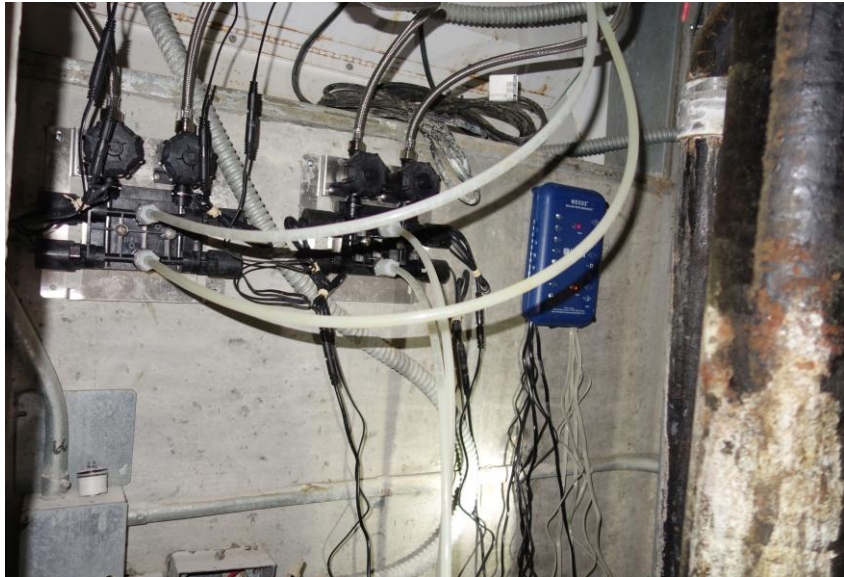


Image Applicable to Housing Units 1-12

IN PROGRESS PLUMBING - 3/18/2025

2172-PLM-2: CELL WATER CONTROL SYSTEMS REPLACEMENT

This building is equipped with cell water control systems that are outdated and should be scheduled for replacement. Problems exist with the current water control systems. It is increasingly difficult to find replacement parts and experienced repairmen to service the equipment. It is recommended to replace the water control systems. This project includes the replacement of the water controllers, piping, valves, access panels and all connections to the existing utilities.

HOUSING UNIT #1

\$613,700.00

PRIORITY 2
2 - 4 years

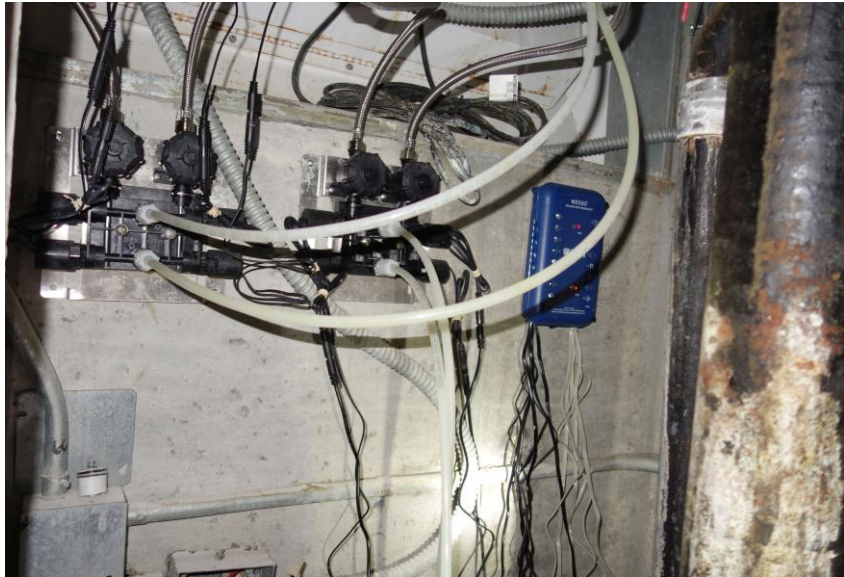


Image Applicable to Housing Units 1-12

IN PROGRESS PLUMBING - 3/13/2025

2086-PLM-3: CELL WATER CONTROL SYSTEMS REPLACEMENT

This building is equipped with cell water control systems that are outdated and should be scheduled for replacement. Problems exist with the current water control systems. It is increasingly difficult to find replacement parts and experienced repairmen to service the equipment. It is recommended to replace the water control systems. This project includes the replacement of the water controllers, piping, valves, access panels and all connections to the existing utilities.

INFIRMARY/ INTAKE

\$593,700.00

PRIORITY 2
2 - 4 years



DEFERRED BUILDING INTERIOR - 3/26/2025

2090-INT-2: FLOORING REPLACEMENT

The VCT flooring in the Infirmary/ Intake is damaged and reaching the end of its useful life. It is recommended that the VCT flooring be replaced. This project would provide for removal and disposal of the VCT and installation of new 12x12 VCT with a 6" base.

WAREHOUSE/ MOTOR POOL

\$478,000.00

PRIORITY 2
2 - 4 years



NEW HVAC - 3/27/2025

2178-HVA-4: REFRIGERATION REFURBISHMENT

The existing drive-in cooler and freezer enclosures, the water cooled refrigeration systems, and the cooling tower are original equipment and need refurbishment. This project recommends replacing the refrigeration systems including the cooling tower. Removal and disposal of the existing equipment is included in this estimate.

HOUSING UNIT #8

\$474,800.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-8

NEW SECURITY - 3/19/2025

2172-SEC-4: SALLYPORT DOOR REPLACEMENT

The 4 sallyport doors in the building are original construction. The door motors and components are obsolete and the tracks are worn out. This project will design and construct the replacement of the electric door motors and door tracks. This project includes the removal and disposal of the existing doors.

VISITATION

\$474,800.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-8

NEW SECURITY - 3/25/2025

2093-SEC-2: SALLYPORT DOOR REPLACEMENT

The 4 sallyport doors in the building are original construction. The door motors and components are obsolete and the tracks are worn out. This project will design and construct the replacement of the electric door motors and door tracks. This project includes the removal and disposal of the existing doors.

INFIRMARY/ INTAKE

\$474,800.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-8

DEFERRED SECURITY - 3/27/2025

2090-SEC-2: SALLYPORT DOOR REPLACEMENT

Infirmary/ Intake was constructed in 2000. The sliding cell doors, locks and controls are original to the building and have been problematic due to use and age. This project would provide for installing new cell doors, locks and controls.

HOUSING UNIT #7

\$474,800.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-8

NEW SECURITY - 3/20/2025

2173-SEC-4: SALLYPORT DOOR REPLACEMENT

The 4 sallyport doors in the building are original construction. The door motors and components are obsolete and the tracks are worn out. This project will design and construct the replacement of the electric door motors and door tracks. This project includes the removal and disposal of the existing doors.

HOUSING UNIT #1

\$474,800.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-8

NEW SECURITY - 3/19/2025

2086-SEC-3: SALLYPORT DOOR REPLACEMENT

The 4 sallyport doors in the building are original construction. The door motors and components are obsolete and the tracks are worn out. This project will design and construct the replacement of the electric door motors and door tracks. This project includes the removal and disposal of the existing doors.

HOUSING UNIT #6

\$474,800.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-8

NEW SECURITY - 3/20/2025

2174-SEC-4: SALLYPORT DOOR REPLACEMENT

The 4 sallyport doors in the building are original construction. The door motors and components are obsolete and the tracks are worn out. This project will design and construct the replacement of the electric door motors and door tracks. This project includes the removal and disposal of the existing doors.

HOUSING UNIT #5

\$474,800.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-8

NEW SECURITY - 3/25/2025

2175-SEC-4: SALLYPORT DOOR REPLACEMENT

The 4 sallyport doors in the building are original construction. The door motors and components are obsolete and the tracks are worn out. This project will design and construct the replacement of the electric door motors and door tracks. This project includes the removal and disposal of the existing doors.

HOUSING UNIT #4

\$474,700.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-8

NEW SECURITY - 3/19/2025

2088-SEC-5: SALLYPORT DOOR REPLACEMENT

The 4 sallyport doors in the building are original construction. The door motors and components are obsolete and the tracks are worn out. This project will design and construct the replacement of the electric door motors and door tracks. This project includes the removal and disposal of the existing doors.

HOUSING UNIT #2

\$474,700.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-8

NEW SECURITY - 3/19/2025

2087-SEC-4: SALLYPORT DOOR REPLACEMENT

The 4 sallyport doors in the building are original construction. The door motors and components are obsolete and the tracks are worn out. This project will design and construct the replacement of the electric door motors and door tracks. This project includes the removal and disposal of the existing doors.

HOUSING UNIT #3

\$474,700.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-8

NEW SECURITY - 3/19/2025

2089-SEC-4: SALLYPORT DOOR REPLACEMENT

The 4 sallyport doors in the building are original construction. The door motors and components are obsolete and the tracks are worn out. This project will design and construct the replacement of the electric door motors and door tracks. This project includes the removal and disposal of the existing doors.

YARD TOWER

\$380,000.00

PRIORITY 2
2 - 4 years



Image Applicable to Towers 1-3, Yard Tower

NEW BUILDING INTERIOR - 4/1/2025

2176-INT-3: TOWER REFURBISHMENT

The Guard Tower interiors are original 2000 construction, twenty five years old and in need of refurbishment. The original HVAC system has failed and subsequently replaced by a window unit cut into the exterior wall. The recommended improvements include repair or replacement of plumbing & sewer, original HVAC split system, single pane windows & sliding door, spot lights, security locks, interior finishes, plumbing fixtures and flooring.

TOWER #2

\$380,000.00

PRIORITY 2
2 - 4 years



Image Applicable to Towers 1-3, Yard Tower

NEW BUILDING INTERIOR - 4/1/2025

2101-INT-3: TOWER REFURBISHMENT

The Guard Tower interiors are original 2000 construction, twenty five years old and in need of refurbishment. The original HVAC system has failed and subsequently replaced by a window unit cut into the exterior wall. The recommended improvements include repair or replacement of plumbing & sewer, original HVAC split system, single pane windows & sliding door, spot lights, security locks, interior finishes, plumbing fixtures and flooring.

TOWER #3

\$380,000.00

PRIORITY 2
2 - 4 years



Image Applicable to Towers 1-3, Yard Tower

NEW BUILDING INTERIOR - 4/1/2025

2102-INT-3: TOWER REFURBISHMENT

The Guard Tower interiors are original 2000 construction, twenty five years old and in need of refurbishment. The original HVAC system has failed and subsequently replaced by a window unit cut into the exterior wall. The recommended improvements include repair or replacement of plumbing & sewer, original HVAC split system, single pane windows & sliding door, spot lights, security locks, interior finishes, plumbing fixtures and flooring.

TOWER #6

\$380,000.00

PRIORITY 2
2 - 4 years



Image Applicable to Towers 4-6

NEW BUILDING INTERIOR - 4/1/2025

2104-INT-3: TOWER REFURBISHMENT

The Guard Tower interiors are original 2000 construction, twenty five years old and in need of refurbishment. The original HVAC system has failed and subsequently replaced by a window unit cut into the exterior wall. The recommended improvements include repair or replacement of plumbing & sewer, original HVAC split system, single pane windows & sliding door, spot lights, security locks, interior finishes, plumbing fixtures and flooring.

TOWER #5

\$380,000.00

PRIORITY 2
2 - 4 years



Image Applicable to Towers 4-6

NEW BUILDING INTERIOR - 4/1/2025

2103-INT-3: TOWER REFURBISHMENT

The Guard Tower interiors are original 2000 construction, twenty five years old and in need of refurbishment. The original HVAC system has failed and subsequently replaced by a window unit cut into the exterior wall. The recommended improvements include repair or replacement of plumbing & sewer, original HVAC split system, single pane windows & sliding door, spot lights, security locks, interior finishes, plumbing fixtures and flooring.

TOWER #1

\$380,000.00

PRIORITY 2
2 - 4 years



Image Applicable to Towers 1-3, Yard Tower

NEW BUILDING INTERIOR - 4/1/2025

2100-INT-3: TOWER REFURBISHMENT

The Guard Tower interiors are original 2000 construction, twenty five years old and in need of refurbishment. The original HVAC system has failed and subsequently replaced by a window unit cut into the exterior wall. The recommended improvements include repair or replacement of plumbing & sewer, original HVAC split system, single pane windows & sliding door, spot lights, security locks, interior finishes, plumbing fixtures and flooring.

TOWER #4

\$380,000.00

PRIORITY 2
2 - 4 years



Image Applicable to Towers 4-6

NEW BUILDING INTERIOR - 4/1/2025 2177-INT-3: TOWER REFURBISHMENT

The Guard Tower interiors are original 2000 construction, twenty five years old and in need of refurbishment. The original HVAC system has failed and subsequently replaced by a window unit cut into the exterior wall. The recommended improvements include repair or replacement of plumbing & sewer, original HVAC split system, single pane windows & sliding door, spot lights, security locks, interior finishes, plumbing fixtures and flooring.

INFIRMARY/ INTAKE

\$330,000.00

PRIORITY 2
2 - 4 years



DEFERRED BUILDING INTERIOR - 3/27/2025

2090-INT-1: INTERIOR FINISHES

The interior finishes were in poor condition. It is recommended to paint the interior walls and ceilings at least once in the next 2 - 3 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure. Prior to painting, all surfaces should be repaired and prepped. An epoxy-based paint should be utilized in wet areas for durability.

SECURITY/ ADMINISTRATION

\$291,300.00

PRIORITY 2
2 - 4 years



IN PROGRESS BUILDING EXTERIOR - 3/21/2025

2099-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

VISITATION

\$246,300.00

PRIORITY 2
2 - 4 years



No Image Available

IN PROGRESS BUILDING EXTERIOR - 12/31/2024 2093-EXT-3: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

ADMINISTRATION

\$245,900.00

PRIORITY 2
2 - 4 years



IN PROGRESS BUILDING EXTERIOR - 12/31/2024

2094-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

GATEHOUSE

\$237,400.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units 1-8

NEW SECURITY - 3/25/2025

2095-SEC-2: SALLYPORT DOOR REPLACEMENT

The 2 sallyport doors in the building are original construction. The door motors and components are obsolete and the tracks are worn out. This project will design and construct the replacement of the electric door motors and door tracks. This project includes the removal and disposal of the existing doors.

INMATE SERVICES/ CULINARY/ DINING

\$160,000.00

PRIORITY 2
2 - 4 years



NEW BUILDING EXTERIOR - 4/8/2025

2091-EXT-6: DOCK LEVELER REPLACEMENT

The four manual dock levelers located on the loading dock are original to the building and are at the end of their useful life. They are used heavily for the food service and other inmate services activities. This project recommends the replacement of the four manual dock levelers with new manual dock levelers. Removal and disposal of the existing equipment is included in this project.

HOUSING UNIT #2

\$153,700.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units

NEW SECURITY - 3/19/2025

2087-SEC-5: RECREATIONAL YARD ENCLOSURE REPLACEMENT

The eight recreational yard chain-link enclosures are original construction, are failing which increases the risk of escape. This project recommends the demolition of the existing cages and installation of 8 expanded metal replacement cages.

HOUSING UNIT #4

\$153,700.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units

NEW SECURITY - 3/19/2025

2088-SEC-6: RECREATIONAL YARD ENCLOSURE REPLACEMENT

The eight recreational yard chain-link enclosures are original construction, are failing which increases the risk of escape. This project recommends the demolition of the existing cages and installation of 8 expanded metal replacement cages.

HOUSING UNIT #5

\$153,700.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units

NEW SECURITY - 3/20/2025

2175-SEC-5: RECREATIONAL YARD ENCLOSURE REPLACEMENT

The eight recreational yard chain-link enclosures are original construction, are failing which increases the risk of escape. This project recommends the demolition of the existing cages and installation of 8 expanded metal replacement cages.

HOUSING UNIT #1

\$153,700.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units

NEW SECURITY - 3/19/2025

2086-SEC-4: RECREATIONAL YARD ENCLOSURE REPLACEMENT

The eight recreational yard chain-link enclosures are original construction, are failing which increases the risk of escape. This project recommends the demolition of the existing cages and installation of 8 expanded metal replacement cages.

HOUSING UNIT #6

\$153,700.00

PRIORITY 2
2 - 4 years



Image Applicable to Housing Units

NEW SECURITY - 3/31/2025

2174-SEC-5: RECREATIONAL YARD ENCLOSURE REPLACEMENT

The eight recreational yard chain-link enclosures are original construction, are failing which increases the risk of escape. This project recommends the demolition of the existing cages and installation of 8 expanded metal replacement cages.

GATEHOUSE

\$135,600.00

PRIORITY 2
2 - 4 years



No Image Available

IN PROGRESS BUILDING EXTERIOR - 12/31/2024 2095-EXT-3: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

WAREHOUSE/ MOTOR POOL

\$120,000.00

PRIORITY 2
2 - 4 years



NEW BUILDING EXTERIOR - 4/8/2025

2178-EXT-4: DOCK LEVELER REPLACEMENT

The three manual dock levelers located at the Warehouse freight doors that are original to the building and are at the end of their useful life. They are used heavily for all warehouse activities. This project recommends the replacement of the three manual dock levelers with new manual dock levelers. Removal and disposal of the existing equipment is included in this project.

ARMORY/ EMERGENCY RESPONSE

\$74,900.00

PRIORITY 2
2 - 4 years



IN PROGRESS BUILDING EXTERIOR - 12/31/2024

2098-EXT-3: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2-3 years to be consistent with the roofing program and the end of the warranty period.

HIGH DESERT STATE PRISON SITE

\$25,000.00

PRIORITY 2
2 - 4 years



NEW ELECTRICAL - 4/8/2025

9952-ELE-4: ELECTRIFIED FENCE REFURBISHMENT

The electrical contactors that energize the perimeter electric fence are failing to actuate during normal maintenance activities. When the contactors fail to actuate the maintenance staff are required to open the control enclosure and manually re-engage the contactors. This is a safety issue that can be resolved by replacing the contactors and performing thorough maintenance on the entire control cabinet.

HDSP WATER TANK #3

\$20,000.00

PRIORITY 2
2 - 4 years



NEW STRUCTURAL - 1/7/2025 3224-STR-1: TANK INSPECTION

In addition to the annual maintenance inspections recommended by the manufacturer, the manufacturer is also recommending a detailed maintenance/cleaning inspection every 5 - 10 years depending on water quality and usage. Inspection tasks include but no limited to exterior foundations, surfaces, equipment and controls and interior roof/sidewall structure, liners and general debris/sediment cleanup. The last known detailed inspection was performed in approximately 2015 under CIP 13-M42. This project would provide funding for engaging the services of a certified tank inspection company. Any required cleaning and/or repairs are not included in this estimate.

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INMATE SERVICES/ CULINARY/ DINING



\$20,000.00

PRIORITY 2
2 - 4 years



DEFERRED BUILDING INTERIOR - 3/27/2025

2091-INT-3: FLOORING REPLACEMENT

Areas of the floor tile in the culinary area are damaged around drains and cooking equipment. Portions of the tile grout is missing. It is recommended that the tile and grout in these areas be replaced. This project would provide for removal and disposal of the existing flooring and installation of new culinary grade tile in the next 2 - 4 years.

HIGH DESERT STATE PRISON SITE

\$20,000.00

PRIORITY 2
2 - 4 years



NEW BUILDING EXTERIOR - 3/28/2025

9952-EXT-1: CULINARY BOILER FUEL TANK FINISHES

The 30,000 gallon above ground diesel fuel tank exterior finish is severely compromised and completely missing at the top of the tank. This project recommends properly preparing the tank, refinishing the exterior and installing the required placards and signs.

TOWER #6

\$15,000.00

PRIORITY 2
2 - 4 years



No Image Available

DEFERRED BUILDING EXTERIOR - 4/1/2025

2104-EXT-3: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2002. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

HDSP WATER TANK #4

\$15,000.00

PRIORITY 2
2 - 4 years



NEW STRUCTURAL - 1/7/2025 3225-STR-1: TANK INSPECTION

In addition to the annual maintenance inspections recommended by the manufacturer, the manufacturer is also recommending a detailed maintenance/cleaning inspection every 5 - 10 years depending on water quality and usage. Inspection tasks include but no limited to exterior foundations, surfaces, equipment and controls and interior roof/sidewall structure, liners and general debris/sediment cleanup. This project would provide funding for engaging the services of a certified tank inspection company. Any required cleaning and/or repairs are not included in this estimate.

TOWER #5

\$15,000.00

PRIORITY 2
2 - 4 years



No Image Available

DEFERRED BUILDING EXTERIOR - 4/1/2025

2103-EXT-3: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2002. It is recommended that this building be re-roofed in the next 2-3 years to be consistent with the roofing program and the end of the warranty period.

TOWER #4

\$15,000.00

PRIORITY 2
2 - 4 years



No Image Available

NEW BUILDING EXTERIOR - 4/1/2025 2177-EXT-4: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2002. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.



PRIORITY 3 : LONG TERM NEEDS, PLANNING AND IMPROVEMENTS

HOUSING UNIT #5

\$3,790,000.00

PRIORITY 3
4 - 10 years



No Image Available

NEW BUILDING INTERIOR - 3/18/2025

2175-INT-4: INTERIOR FINISHES

The interior finishes were in fair condition. It is recommended the interior walls and ceilings be painted in the next 6 - 8 years. All surfaces should be repaired and prepped prior to painting. For durability in wet areas, an epoxy-based paint should be used. Building maintenance should be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #6

\$3,790,000.00

PRIORITY 3
4 - 10 years



Image Applicable to Housing Units 1-12

DEFERRED HVAC - 3/18/2025

2174-HVA-2: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends the replacement of all air handlers, rooftop units, and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

This project should be implemented concurrently with the ROOF REPLACEMENT project.

HOUSING UNIT #7

\$3,790,000.00

PRIORITY 3
4 - 10 years



Image Applicable to Housing Units 1-12

DEFERRED HVAC - 3/18/2025

2173-HVA-2: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends the replacement of all air handlers, rooftop units, and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

This project should be implemented concurrently with the ROOF REPLACEMENT project.

HOUSING UNIT #5

\$3,790,000.00

PRIORITY 3
4 - 10 years



Image Applicable to Housing Units 1-12

DEFERRED HVAC - 3/18/2025

2175-HVA-2: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends the replacement of all air handlers, rooftop units, and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

This project should be implemented concurrently with the ROOF REPLACEMENT project.

HOUSING UNIT #8

\$3,790,000.00

PRIORITY 3
4 - 10 years



Image Applicable to Housing Units 1-12

DEFERRED HVAC - 3/26/2025

2172-HVA-2: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends the replacement of all air handlers, rooftop units, and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

This project should be implemented concurrently with the ROOF REPLACEMENT project.

PRISON INDUSTRIES

\$2,400,000.00

PRIORITY 3
4 - 10 years



DEFERRED HVAC - 3/28/2025

2507-HVA-1: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2004. The equipment has consistent problems and has reached its expected life span. This project recommends replacement of the air handlers, fan coils, ventilation equipment and exhaust fans. It is recommended that this project be implemented in the next 6 - 7 years to avoid possible failure and emergency funding for replacement.

MAINTENANCE/ CENTRAL PLANT

\$1,843,300.00

PRIORITY 3
4 - 10 years



No Image Available

DEFERRED HVAC - 3/28/2025

2097-HVA-3: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends replacement of the air handlers, fan coils, ventilation equipment and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

PRISON INDUSTRIES

\$1,347,900.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING EXTERIOR - 1/7/2025

2507-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2004. It is recommended that this building be re-roofed in the next 6 - 8 years to be consistent with the roofing program and the end of the warranty period.

GYMNASIUM

\$925,900.00

PRIORITY 3
4 - 10 years



DEFERRED HVAC - 4/1/2025

2506-HVA-1: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2004. The equipment has consistent problems and has reached its expected life span. This project recommends replacement of the air handlers, fan coils, ventilation equipment and exhaust fans. It is recommended that this project be implemented in the next 4-5 years to avoid possible failure and emergency funding for replacement.

HOUSING UNIT #10

\$822,600.00

PRIORITY 3
4 - 10 years



No Image Available

NEW BUILDING EXTERIOR - 1/7/2025 2947-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2008. It is recommended that this building be re-roofed in the next 8 - 10 years to be consistent with the roofing program and the end of the warranty period.

HOUSING UNIT #9

\$822,600.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 1/7/2025 2945-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2008. It is recommended that this building be re-roofed in the next 8 - 10 years to be consistent with the roofing program and the end of the warranty period.

HOUSING UNIT #12

\$822,600.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 3/25/2025

2946-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2008. It is recommended that this building be re-roofed in the next 8 - 10 years to be consistent with the roofing program and the end of the warranty period.

HOUSING UNIT #11

\$822,600.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 1/7/2025 2948-EXT-2: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2008. It is recommended that this building be re-roofed in the next 8 - 10 years to be consistent with the roofing program and the end of the warranty period.

INMATE SERVICES/ CULINARY/ DINING

\$770,000.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING INTERIOR - 3/27/2025

2091-INT-2: INTERIOR FINISHES

The interior finishes were in fair condition. The Inmate Services/Culinary/Dining building has painted CMU walls. All flooring is sealed concrete and non-slip tile. It is recommended that the interior walls be painted and/or sealed at least once in the next 6 - 8 years. This also includes the sealing of the floor and floor tile maintenance in the kitchen and bakery area. Prior to painting or sealing, all surfaces should be repaired and prepped. An epoxy-based paint should be utilized in wet areas for durability.

HOUSING UNIT #10

\$613,700.00

PRIORITY 3
4 - 10 years

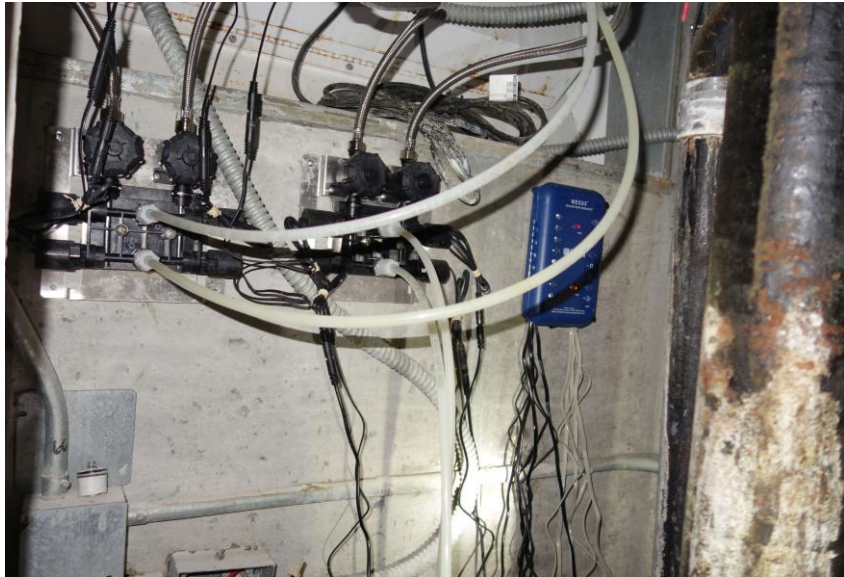


Image Applicable to Housing Units 1-12

IN PROGRESS PLUMBING - 3/31/2025

2947-PLM-3: CELL WATER CONTROL SYSTEMS REPLACEMENT

This building is equipped with cell water control systems that are outdated and should be scheduled for replacement. Problems exist with the current water control systems. It is increasingly difficult to find replacement parts and experienced repairmen to service the equipment. It is recommended to replace the water control systems. This project includes the replacement of the water controllers, piping, valves, access panels and all connections to the existing utilities.

HOUSING UNIT #12

\$613,700.00

PRIORITY 3
4 - 10 years

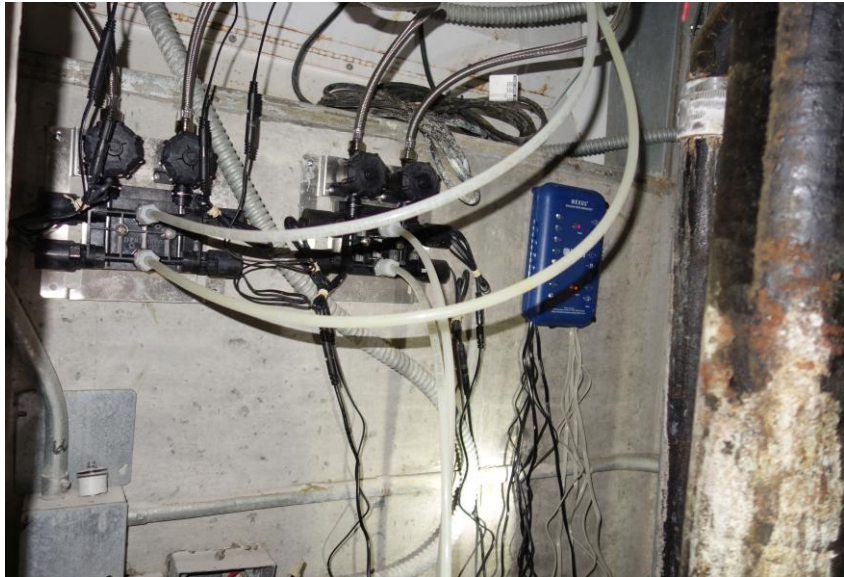


Image Applicable to Housing Units 1-12

IN PROGRESS PLUMBING - 3/21/2025

2946-PLM-3: CELL WATER CONTROL SYSTEMS REPLACEMENT

This building is equipped with cell water control systems that are outdated and should be scheduled for replacement. Problems exist with the current water control systems. It is increasingly difficult to find replacement parts and experienced repairmen to service the equipment. It is recommended to replace the water control systems. This project includes the replacement of the water controllers, piping, valves, access panels and all connections to the existing utilities.

HOUSING UNIT #9

\$613,700.00

PRIORITY 3
4 - 10 years

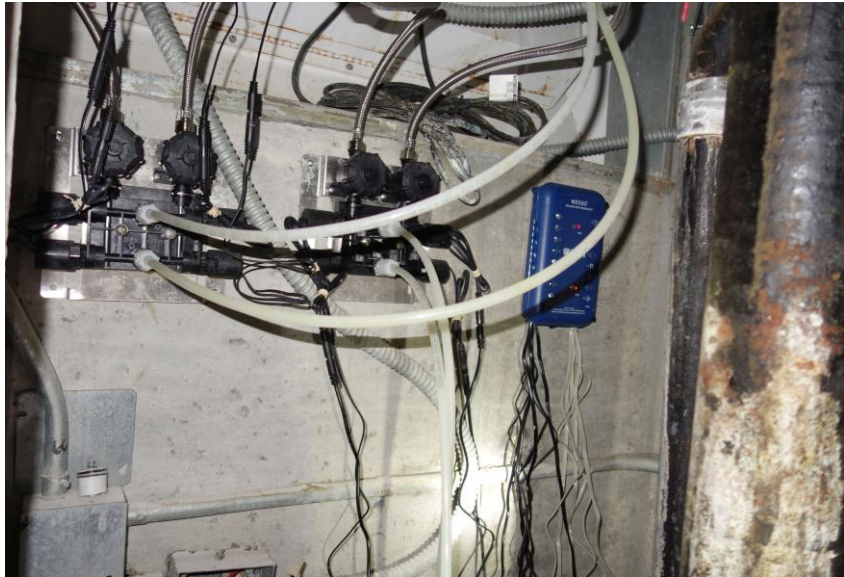


Image Applicable to Housing Units 1-12

IN PROGRESS PLUMBING - 3/21/2025

2945-PLM-3: CELL WATER CONTROL SYSTEMS REPLACEMENT

This building is equipped with cell water control systems that are outdated and should be scheduled for replacement. Problems exist with the current water control systems. It is increasingly difficult to find replacement parts and experienced repairmen to service the equipment. It is recommended to replace the water control systems. This project includes the replacement of the water controllers, piping, valves, access panels and all connections to the existing utilities.

HOUSING UNIT #11

\$613,700.00

PRIORITY 3
4 - 10 years

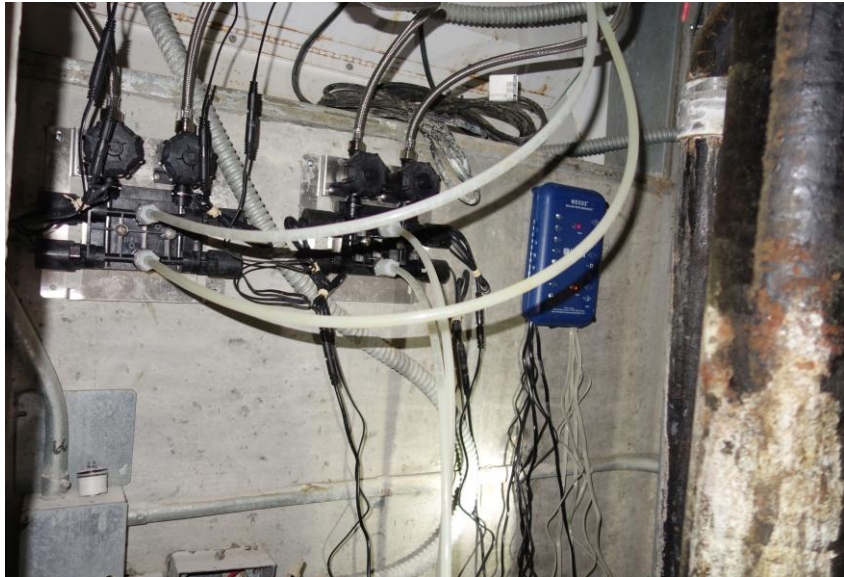


Image Applicable to Housing Units 1-12

IN PROGRESS PLUMBING - 3/31/2025

2948-PLM-3: CELL WATER CONTROL SYSTEMS REPLACEMENT

This building is equipped with cell water control systems that are outdated and should be scheduled for replacement. Problems exist with the current water control systems. It is increasingly difficult to find replacement parts and experienced repairmen to service the equipment. It is recommended to replace the water control systems. This project includes the replacement of the water controllers, piping, valves, access panels and all connections to the existing utilities.

PRISON INDUSTRIES



\$600,000.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING INTERIOR - 4/2/2025 2507-INT-1: INTERIOR FINISHES

The interior finishes were in good condition. It is recommended to paint the interior walls and ceilings at least once in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure. Prior to painting, all surfaces should be repaired and prepped. An epoxy-based paint should be utilized in wet areas for durability.

WAREHOUSE/ MOTOR POOL

\$555,600.00

PRIORITY 3
4 - 10 years



No Image Available

DEFERRED HVAC - 3/27/2025

2178-HVA-2: HVAC EQUIPMENT REPLACEMENT

The existing HVAC system consists of ceiling mounted hydronic heaters, 8 packaged heat pumps, 10 swamp coolers and an Evapco cooling tower. The HVAC system was installed in 2002. The HVAC system is not energy efficient and has reached the end of its expected and useful life. This project would provide for installation of new HVAC equipment. The new systems shall be designed to significantly reduce utility usage in order to comply with the 2024 IECC and ASHRAE 90.1. This project includes removal and disposal of the existing HVAC system and all required connections to utilities.

HOUSING UNIT #12

\$516,100.00

PRIORITY 3
4 - 10 years



No Image Available

DEFERRED BUILDING INTERIOR - 4/2/2025

2946-INT-1: INTERIOR FINISHES

The interior finishes were in fair condition. It is recommended the interior walls and ceilings be painted in the next 6 - 8 years. All surfaces should be repaired and prepped prior to painting. For durability in wet areas, an epoxy-based paint should be used. Building maintenance should be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #9

\$516,100.00

PRIORITY 3
4 - 10 years



No Image Available

DEFERRED BUILDING INTERIOR - 4/2/2025

2945-INT-1: INTERIOR FINISHES

The interior finishes were in fair condition. It is recommended the interior walls and ceilings be painted in the next 6 - 8 years. All surfaces should be repaired and prepped prior to painting. For durability in wet areas, an epoxy-based paint should be used. Building maintenance should be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #10

\$516,100.00

PRIORITY 3
4 - 10 years



No Image Available

DEFERRED BUILDING INTERIOR - 4/2/2025

2947-INT-1: INTERIOR FINISHES

The interior finishes were in fair condition. It is recommended the interior walls and ceilings be painted in the next 6 - 8 years. All surfaces should be repaired and prepped prior to painting. For durability in wet areas, an epoxy-based paint should be used. Building maintenance should be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #9

\$516,090.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING EXTERIOR - 4/2/2025

2945-EXT-1: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #11

\$516,090.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING EXTERIOR - 4/2/2025

2948-EXT-1: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #12

\$516,090.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING EXTERIOR - 4/2/2025

2946-EXT-1: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #10

\$516,090.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING EXTERIOR - 4/3/2025

2947-EXT-1: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #11

\$516,090.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING INTERIOR - 4/2/2025

2948-INT-1: INTERIOR FINISHES

The interior finishes were in fair condition. It is recommended the interior walls and ceilings be painted in the next 6 - 8 years. All surfaces should be repaired and prepped prior to painting. For durability in wet areas, an epoxy-based paint should be used. Building maintenance should be scheduled on a cyclical basis to maintain the integrity of the structure.

INMATE SERVICES/ CULINARY/ DINING

\$385,000.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 3/27/2025

2091-EXT-5: EXTERIOR FINISHES

The exterior finishes were in fair condition. It is important to maintain the finish, weather resistance and appearance of the building. The caulked control joints in the CMU of the exterior surface of this building are uniformly deteriorated and should be removed and the joints re-caulked. The metal doors and window frames should be sanded and painted in the next 4 - 6 years.

GATEHOUSE

\$378,100.00

PRIORITY 3
4 - 10 years



DEFERRED HVAC - 3/28/2025

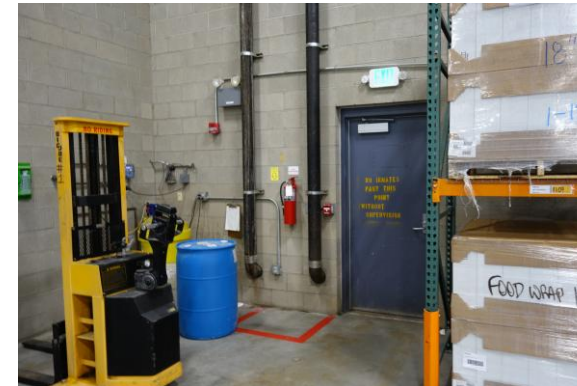
2095-HVA-1: HVAC EQUIPMENT REPLACEMENT

The air handlers, fan coils and related equipment are original to the building, dating back to 2000. The equipment has consistent problems and has reached its expected life span. This project recommends replacement of the air handlers, fan coils, ventilation equipment and exhaust fans. It is recommended that this project be implemented in the next 2 - 3 years to avoid possible failure and emergency funding for replacement.

WAREHOUSE/ MOTOR POOL

\$370,400.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING INTERIOR - 4/2/2025 2178-INT-1: INTERIOR FINISHES

The interior finishes were in good condition. It is recommended to paint the interior walls and ceilings at least once in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure. Prior to painting, all surfaces should be repaired and prepped. An epoxy-based paint should be utilized in wet areas for durability.

PROGRAM SERVICES/ EDUCATION

\$370,200.00

PRIORITY 3
4 - 10 years



No Image Available

NEW BUILDING EXTERIOR - 4/2/2025

2092-EXT-3: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 2 - 3 years to be consistent with the roofing program and the end of the warranty period.

GYMNASIUM

\$321,600.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING EXTERIOR - 3/25/2025

2506-EXT-3: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2004. It is recommended that this building be re-roofed in the next 6-8 years to be consistent with the roofing program and the end of the warranty period.

PRISON INDUSTRIES

\$306,300.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING EXTERIOR - 4/2/2025

2507-EXT-1: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

MAINTENANCE/ CENTRAL PLANT

\$301,500.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING INTERIOR - 4/2/2025 2097-INT-3: INTERIOR FINISHES

The interior finishes were in good condition. It is recommended to paint the interior walls and ceilings at least once in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure. Prior to painting, all surfaces should be repaired and prepped. An epoxy-based paint should be utilized in wet areas for durability.

HOUSING UNIT #6

\$225,000.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 3/18/2025

2174-EXT-4: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #3

\$225,000.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 3/18/2025

2089-EXT-4: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #7

\$222,500.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 3/18/2025

2173-EXT-3: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #8

\$222,500.00

PRIORITY 3
4 - 10 years



No Image Available

NEW BUILDING INTERIOR - 3/18/2025

2172-INT-4: INTERIOR FINISHES

The interior finishes were in fair condition. It is recommended the interior walls and ceilings be painted in the next 6 - 8 years. All surfaces should be repaired and prepped prior to painting. For durability in wet areas, an epoxy-based paint should be used. Building maintenance should be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #6

\$222,500.00

PRIORITY 3
4 - 10 years



No Image Available

NEW BUILDING INTERIOR - 3/18/2025

2174-INT-4: INTERIOR FINISHES

The interior finishes were in fair condition. It is recommended the interior walls and ceilings be painted in the next 6 - 8 years. All surfaces should be repaired and prepped prior to painting. For durability in wet areas, an epoxy-based paint should be used. Building maintenance should be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #4

\$222,500.00

PRIORITY 3
4 - 10 years



No Image Available

NEW BUILDING INTERIOR - 3/18/2025

2088-INT-4: INTERIOR FINISHES

The interior finishes were in fair condition. It is recommended the interior walls and ceilings be painted in the next 6 - 8 years. All surfaces should be repaired and prepped prior to painting. For durability in wet areas, an epoxy-based paint should be used. Building maintenance should be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #4

\$222,500.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 3/14/2025

2088-EXT-3: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #8

\$222,500.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 3/18/2025

2172-EXT-3: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #2

\$222,500.00

PRIORITY 3
4 - 10 years



No Image Available

NEW BUILDING INTERIOR - 3/19/2025

2087-INT-4: INTERIOR FINISHES

The interior finishes were in fair condition. It is recommended the interior walls and ceilings be painted in the next 6 - 8 years. All surfaces should be repaired and prepped prior to painting. For durability in wet areas, an epoxy-based paint should be used. Building maintenance should be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #2

\$222,500.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 3/14/2025 2087-EXT-4: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #1

\$222,500.00

PRIORITY 3
4 - 10 years



No Image Available

NEW BUILDING INTERIOR - 3/13/2025

2086-INT-4: INTERIOR FINISHES

The interior finishes were in fair condition. It is recommended the interior walls and ceilings be painted in the next 6 - 8 years. All surfaces should be repaired and prepped prior to painting. For durability in wet areas, an epoxy-based paint should be used. Building maintenance should be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #1

\$222,500.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 3/13/2025

2086-EXT-4: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

INFIRMARY/ INTAKE

\$222,500.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/2/2025

2090-EXT-3: EXTERIOR FINISHES

The exterior finishes were in fair condition. It is important to maintain the finish, weather resistance and appearance of the building. The caulked control joints in the CMU of the exterior surface of this building are uniformly deteriorated and should be removed and the joints re-caulked. The metal doors and window frames should be sanded and painted in the next 4 - 6 years.

HOUSING UNIT #5

\$222,500.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 3/18/2025

2175-EXT-4: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #3

\$222,500.00

PRIORITY 3
4 - 10 years



NEW BUILDING INTERIOR - 3/18/2025

2089-INT-4: INTERIOR FINISHES

The interior finishes were in fair condition. It is recommended the interior walls and ceilings be painted in the next 6 - 8 years. All surfaces should be repaired and prepped prior to painting. For durability in wet areas, an epoxy-based paint should be used. Building maintenance should be scheduled on a cyclical basis to maintain the integrity of the structure.

WAREHOUSE/ MOTOR POOL

\$185,200.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/2/2025

2178-EXT-3: EXTERIOR FINISHES

The exterior finishes were in fair condition. It is important to maintain the finish, weather resistance and appearance of the building. The caulked control joints in the CMU of the exterior surface of this building are uniformly deteriorated and should be removed and the joints re-caulked. The metal doors and window frames should be sanded and painted in the next 4 - 6 years.

PROGRAM SERVICES/ EDUCATION

\$168,800.00

PRIORITY 3
4 - 10 years



NEW BUILDING INTERIOR - 4/1/2025 2092-INT-4: INTERIOR FINISHES

The interior finishes were in good condition. It is recommended to paint the interior walls and ceilings at least once in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure. Prior to painting, all surfaces should be repaired and prepped. An epoxy-based paint should be utilized in wet areas for durability.

MAINTENANCE/ CENTRAL PLANT

\$150,800.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/2/2025

2097-EXT-3: EXTERIOR FINISHES

The exterior finishes were in fair condition. It is important to maintain the finish, weather resistance and appearance of the building. The caulked control joints in the CMU of the exterior surface of this building are uniformly deteriorated and should be removed and the joints re-caulked. The metal doors and window frames should be sanded and painted in the next 4 - 6 years.

GYMNASIUM

\$146,600.00

PRIORITY 3
4 - 10 years



NEW BUILDING INTERIOR - 4/1/2025 2506-INT-3: INTERIOR FINISHES

The interior finishes were in good condition. It is recommended to paint the interior walls and ceilings at least once in the next 8 - 10 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure. Prior to painting, all surfaces should be repaired and prepped. An epoxy-based paint should be utilized in wet areas for durability.

SECURITY/ ADMINISTRATION

\$132,400.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING INTERIOR - 4/2/2025

2099-INT-1: INTERIOR FINISHES

The interior finishes were in good condition. It is recommended to paint the interior walls and ceilings at least once in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure. Prior to painting, all surfaces should be repaired and prepped. An epoxy-based paint should be utilized in wet areas for durability.

VISITATION



\$111,900.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING INTERIOR - 4/2/2025

2093-INT-1: INTERIOR FINISHES

The interior finishes were in fair condition. It is recommended to paint the interior walls and ceilings at least once in the next 4 - 6 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure. Prior to painting, all surfaces should be repaired and prepped. An epoxy-based paint should be utilized in wet areas for durability.

ADMINISTRATION

\$111,800.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING INTERIOR - 4/2/2025

2094-INT-1: INTERIOR FINISHES

The interior finishes were in good condition. It is recommended the interior walls and ceilings be painted in the next 7 - 9 years. All surfaces should be repaired and prepped prior to painting. For durability in wet areas, an epoxy-based paint should be used. Building maintenance should be scheduled on a cyclical basis to maintain the integrity of the structure.

PROGRAM SERVICES/ EDUCATION

\$84,100.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/1/2025

2092-EXT-2: EXTERIOR FINISHES

The exterior finishes were in fair condition. It is important to maintain the finish, weather resistance and appearance of the building. The caulked control joints in the CMU of the exterior surface of this building are uniformly deteriorated and should be removed and the joints re-caulked. The metal doors and window frames should be sanded and painted in the next 4 - 6 years.

GYMNASIUM

\$73,100.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/2/2025

2506-EXT-5: EXTERIOR FINISHES

The exterior finishes were in fair condition. It is important to maintain the finish, weather resistance and appearance of the building. The caulked control joints in the CMU of the exterior surface of this building are uniformly deteriorated and should be removed and the joints re-caulked. The metal doors and window frames should be sanded and painted in the next 4 - 6 years.

SECURITY/ ADMINISTRATION

\$66,200.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/2/2025

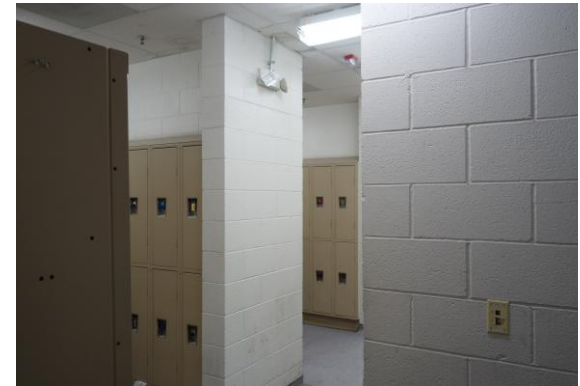
2099-EXT-3: EXTERIOR FINISHES

The exterior finishes were in fair condition. It is important to maintain the finish, weather resistance and appearance of the building. The caulked control joints in the CMU of the exterior surface of this building are uniformly deteriorated and should be removed and the joints re-caulked. The metal doors and window frames should be sanded and painted in the next 4 - 6 years.

GATEHOUSE

\$61,700.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING INTERIOR - 4/2/2025

2095-INT-1: INTERIOR FINISHES

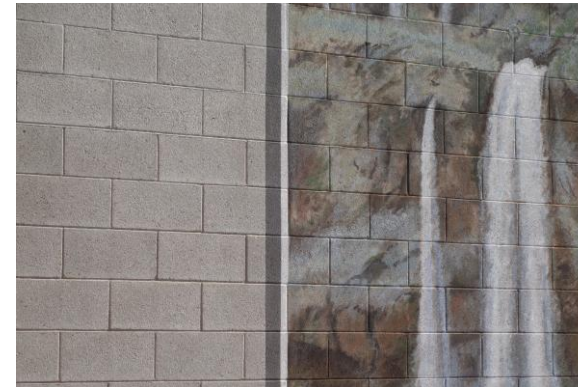
The interior finishes were in good condition. It is recommended to paint the interior walls and ceilings at least once in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure. Prior to painting, all surfaces should be repaired and prepped. An epoxy-based paint should be utilized in wet areas for durability.

VISITATION



\$56,000.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/2/2025

2093-EXT-4: EXTERIOR FINISHES

The exterior finishes were in fair condition. It is important to maintain the finish, weather resistance and appearance of the building. The caulked control joints in the CMU of the exterior surface of this building are uniformly deteriorated and should be removed and the joints re-caulked. The metal doors and window frames should be sanded and painted in the next 4 - 6 years.

ADMINISTRATION

\$55,900.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/2/2025

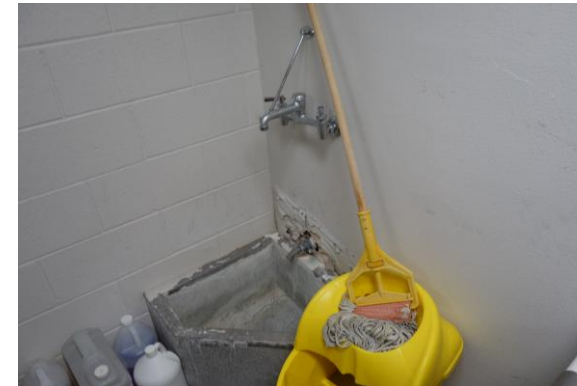
2094-EXT-3: EXTERIOR FINISHES

The exterior finishes were in fair condition. It is important to maintain the finish, weather resistance and appearance of the building. The caulked control joints in the CMU of the exterior surface of this building are uniformly deteriorated and should be removed and the joints re-caulked. The metal doors and window frames should be sanded and painted in the next 4 - 6 years.

ARMORY/ EMERGENCY RESPONSE

\$34,050.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING INTERIOR - 4/2/2025 2098-INT-1: INTERIOR FINISHES

The interior finishes were in good condition. It is recommended to paint the interior walls and ceilings at least once in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure. Prior to painting, all surfaces should be repaired and prepped. An epoxy-based paint should be utilized in wet areas for durability.

GATEHOUSE

\$30,800.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/2/2025

2095-EXT-4: EXTERIOR FINISHES

The exterior finishes were in fair condition. It is important to maintain the finish, weather resistance and appearance of the building. The caulked control joints in the CMU of the exterior surface of this building are uniformly deteriorated and should be removed and the joints re-caulked. The metal doors and window frames should be sanded and painted in the next 4 - 6 years.

TOWER #3

\$25,000.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/1/2025

2102-EXT-4: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

TOWER #1

\$25,000.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/1/2025

2100-EXT-3: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

YARD TOWER

\$25,000.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/1/2025

2176-EXT-4: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

TOWER #4

\$25,000.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/1/2025

2177-EXT-3: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

TOWER #2

\$25,000.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/1/2025

2101-EXT-4: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

TOWER #5

\$25,000.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/1/2025

2103-EXT-4: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

TOWER #6

\$25,000.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/1/2025

2104-EXT-4: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

HOUSING UNIT #7

\$22,500.00

PRIORITY 3
4 - 10 years



No Image Available

NEW BUILDING INTERIOR - 3/18/2025

2173-INT-4: INTERIOR FINISHES

The interior finishes were in fair condition. It is recommended the interior walls and ceilings be painted in the next 6 - 8 years. All surfaces should be repaired and prepped prior to painting. For durability in wet areas, an epoxy-based paint should be used. Building maintenance should be scheduled on a cyclical basis to maintain the integrity of the structure.

PUMP HOUSE #2

\$18,500.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING EXTERIOR - 4/2/2025 3776-EXT-3: ROOF REPLACEMENT

The roof on this building was in fair condition at the time of the survey. The statewide roofing program has set the useful life of an average roof at 20 years. The roof warranty expires at the end of the same time frame. The temperature fluctuations throughout the year, consistent wind which blows sand and dirt on to the roof membrane, and constant exposure to the sun are contributing factors to wear and deterioration. The current roofing system was installed in 2000. It is recommended that this building be re-roofed in the next 4 - 6 years to be consistent with the roofing program and the end of the warranty period.

ARMORY/ EMERGENCY RESPONSE

\$17,000.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 4/2/2025

2098-EXT-4: EXTERIOR FINISHES

The exterior finishes were in fair condition. It is important to maintain the finish, weather resistance and appearance of the building. The caulked control joints in the CMU of the exterior surface of this building are uniformly deteriorated and should be removed and the joints re-caulked. The metal doors and window frames should be sanded and painted in the next 4 - 6 years.

PUMP HOUSE #2

\$ 8,400.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 1/10/2025

3776-EXT-4: EXTERIOR FINISHES

It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and sealing the concrete masonry units and caulking flashing, fixtures and all other penetrations. It is recommended that the building be sealed and caulked in the next 2-3 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

PUMP HOUSE #3

\$ 3,100.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 1/10/2025

3803-EXT-1: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost are cleaning and painting the concrete walls, painting the doors and trim and caulking the windows, flashing, fixtures and all other penetrations. It is recommended that the building be painted and caulked in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

SALLYPORT

\$ 2,880.00

PRIORITY 3
4 - 10 years



IN PROGRESS HVAC - 4/23/2024

2096-HVA-1: HEAT PUMP REPLACEMENT

The heat pumps in the building should be scheduled for replacement. They are not energy efficient and have reached the end of their expected and useful life. This project would provide for installation of new heat pump units and the cleaning of the existing ducting and grilles. This project includes removal and disposal of the existing heat pump units and all required connections to utilities.

SALLYPORT

\$ 1,920.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING EXTERIOR - 4/2/2025

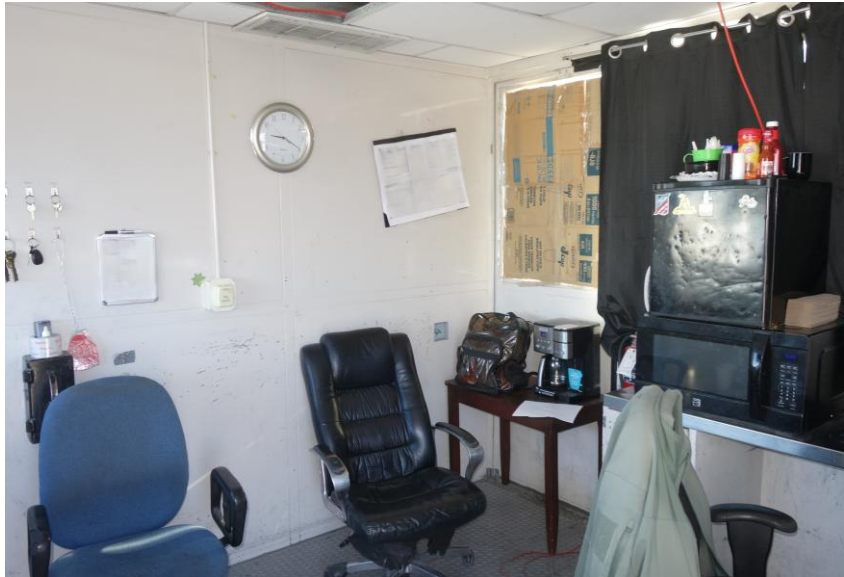
2096-EXT-1: EXTERIOR FINISHES

The exterior finishes were in good condition. It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost is power washing the prefinished metal panels, caulking the windows, repair flashing, fixtures and all other penetrations. It is recommended to this work in the next 8 - 10 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

SALLYPORT

\$ 1,900.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING INTERIOR - 4/2/2025

2096-INT-1: INTERIOR FINISHES

The interior finishes were in fair condition. It is recommended the interior walls and ceilings be painted in the next 6 - 8 years. All surfaces should be repaired and prepped prior to painting. For durability in wet areas, an epoxy-based paint should be used. Building maintenance should be scheduled on a cyclical basis to maintain the integrity of the structure.

HAZMAT BUILDING

\$ 1,500.00

PRIORITY 3
4 - 10 years



DEFERRED BUILDING EXTERIOR - 4/2/2025 3774-EXT-1: EXTERIOR FINISHES

The interior finishes were in good condition. It is recommended to paint the interior walls and ceilings at least once in the next 7 - 9 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure. Prior to painting, all surfaces should be repaired and prepped. An epoxy-based paint should be utilized in wet areas for durability.

STORAGE BUILDING

\$ 1,400.00

PRIORITY 3
4 - 10 years



NEW BUILDING EXTERIOR - 1/10/2025

2505-EXT-2: EXTERIOR FINISHES

It is important to maintain the finish, weather resistance and appearance of the building. This project would provide funding to protect the exterior of the building excluding the roof. Included in the cost is sanding, priming, painting and caulking of the flashing, fixtures and all other penetrations. It is recommended that the building be painted in the next 4 - 6 years and that this project be scheduled on a cyclical basis to maintain the integrity of the structure.

APPENDIX A – BUILDING MANAGEMENT CATEGORIES

BUILDING SYSTEMS

FIGURE 3 is a list of the current project building management categories. The Project ID contains the following:

<SITE #><BUILDING MANAGEMENT CATEGORY><ARBITRARY #>
Example: **9999ADA1** and **9999HVA2**

FIGURE 3.



APPENDIX B – REVISION HISTORY

VERSION	DATE	AMENDMENT
0	01/08/2026	Initial.